# PRICE LIQUOR STORE NEW LIFT & DOOR REPLACEMENT

50 NORTH 100 WEST PRICE, UTAH 84501

AUGUST 02, 2006
CONSTRUCTION DOCUMENTS



# STATE OF UTAH DEPARTMENT OF ADMINISTRATIVE SERVICES DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

4110 STATE OFFICE BUILDING / SALT LAKE CITY, UTAH 84114 / 801.538.3018 / www.dfcm.state.ut.us

DFCM PROJECT NO. 06059030

STRUCTURAL ENGINEER CHRIS HOFHEINS

BHB CONSULTING ENGINEERS

244 WEST 300 NORTH SUITE 202 / SALT LAKE CITY, UTAH 84103/801.355.5656 / www.bhbengineers.com

ARCHITECT: ROBERT P. LEONARD



SCOTT P. EVANS - ARCHITECT & ASSOCIATES P.C.

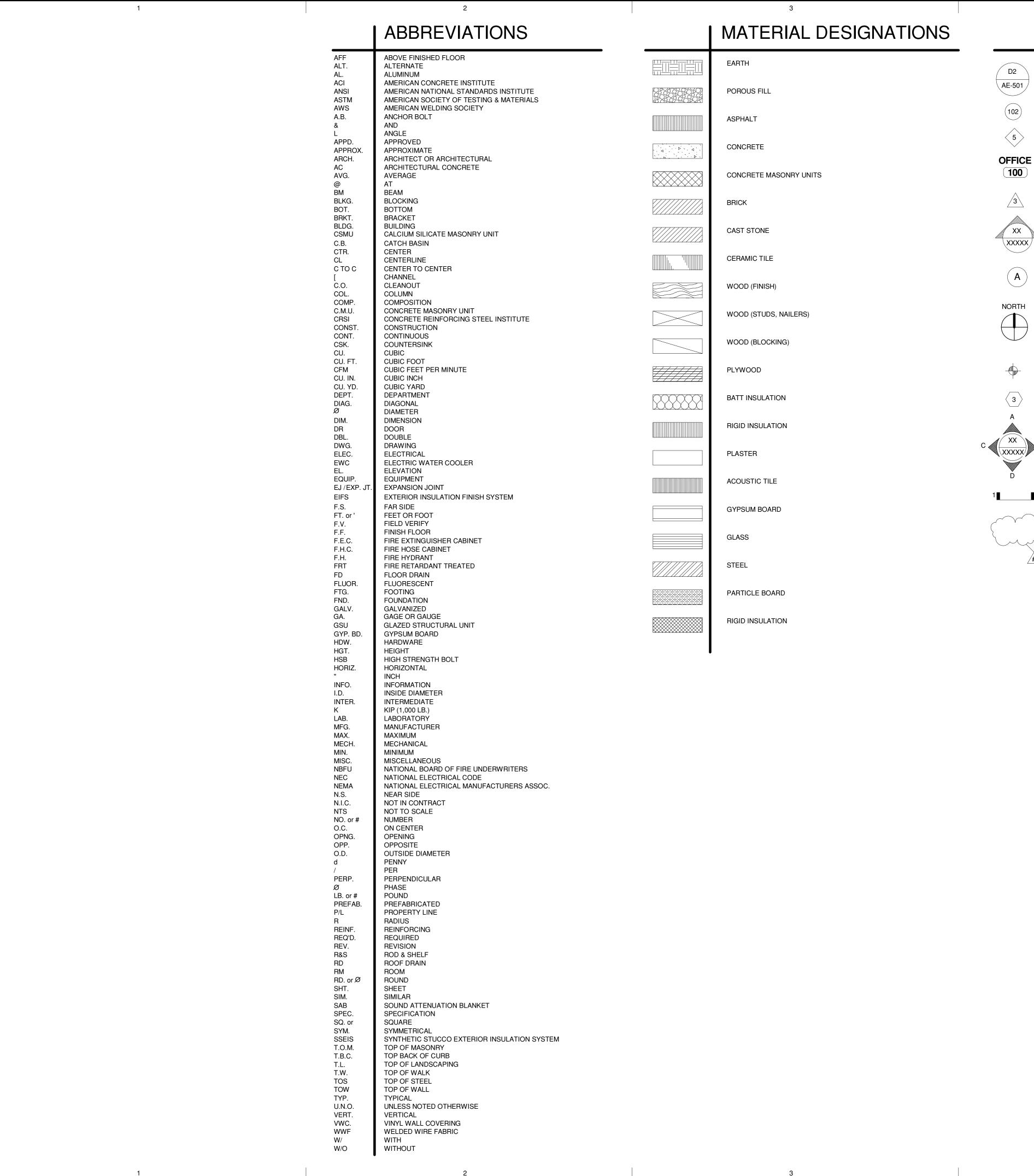
108 WEST CENTER STREET / BOUNTIFUL, UTAH 84010 / 801.298.1368 / www.spe-architect.com

ELECTRICAL ENGINEER
BILL GRANDY

# THOMAS & KOLKMAN

THOMAS & KOLKMAN ENGINEERING CO., INC.

64 WEST 1700 SOUTH / SALT LAKE CITY, UTAH 84115/ 801.484.8161



## GRAPHIC SYMBOLS

/ D2 ` \ AE-501 ∠

DOOR NUMBER

5

100

DETAIL/WALL or SECTION NUMBER SHEET NUMBER

WINDOW NUMBER

REVISION NUMBER

**ROOM NAME** ROOM NUMBER

DETAIL, WALL or SECTION NUMBER

 $\langle xxxxx \rangle$ SHEET NUMBER

GRID REFERENCE

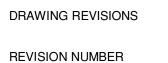
REFERENCE NORTH (PLANS)

**ELEVATION REFERENCE** 

KEYED NOTE NUMBER



WALL TYPES



## DRAWING INDEX

STRUCTURAL NOTES, PLAN & DETAILS

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PLANS & KEYED NOTES

**ELEVATIONS & SECTIONS** 

**GENERAL:** 

TITLE SHEET

STRUCTURAL:

ARCHITECTURAL:

**DETAILS & PHOTOS** 

**ELECTRICAL:** 

<u>SHT. #</u>

GI-001

GI-002

SE-101

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PROFESSIONAL STAMP:

STRUCTURAL ENGINEER:

BHB CONSULTING

**ELECTRICAL ENGINEER:** THOMAS & KOLKMAN

NEW LIF

TORE LACEI E LIQUOR ST DOOR REPL

NORTH 100 RICE, UTAH 8

PRICE

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION 08/02/06 CONSTRUCTION DOCUMENTS

DFCM PROJECT #: 06059030 SPE PROJECT #: 06-14A DRAWN BY: JBE CHECKED BY: RPL DESIGNED BY: COPYRIGHT: SCOTT P. EVANS - ARCHITECT 2006

**GENERAL INFORMATION** 

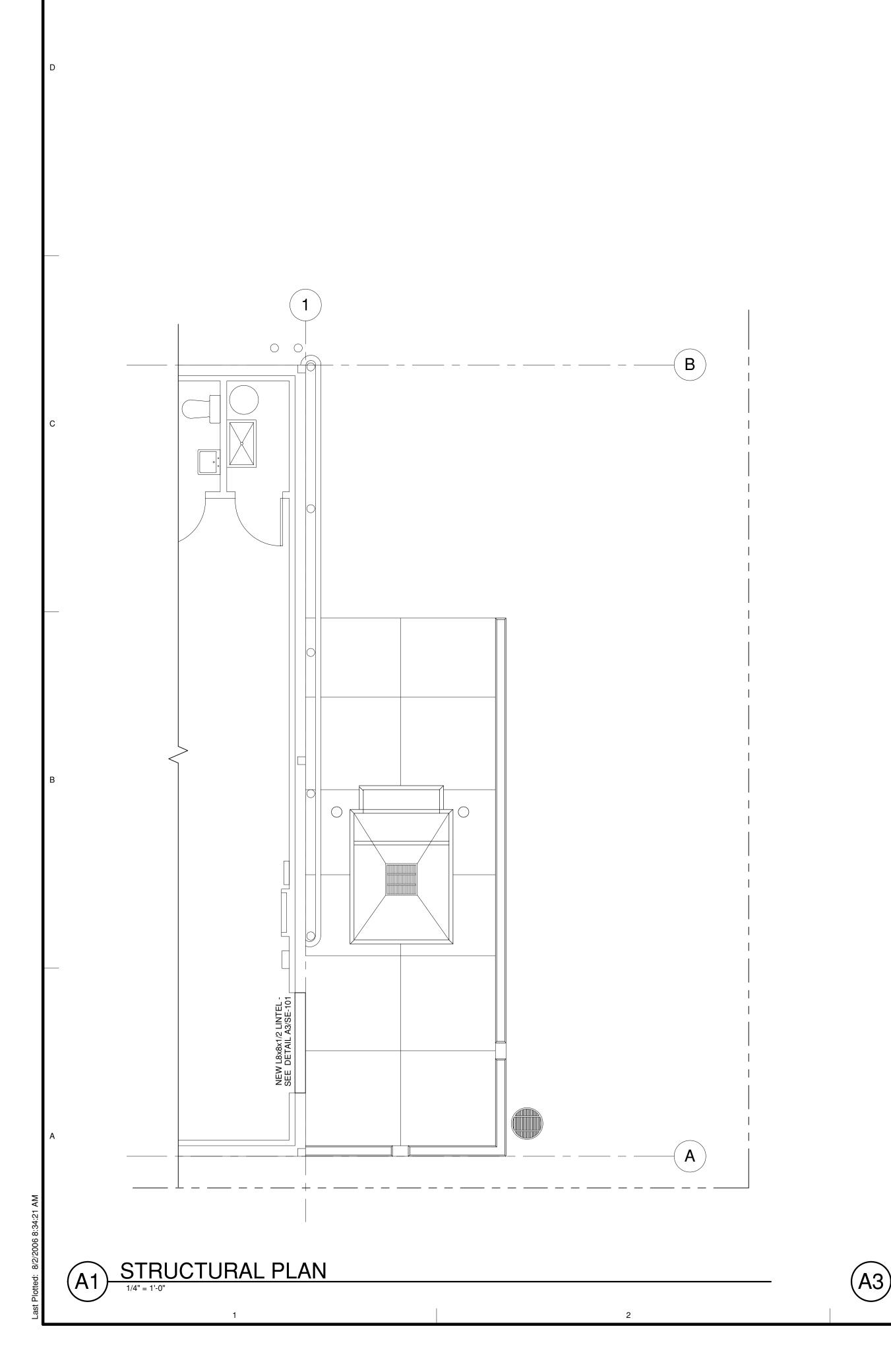
GI-002

LOCATION E 100 N S Fairgrounds Rd

(A4) VICINITY MAP

SCALE: NONE

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## **GENERAL STRUCTURAL NOTES**

#### **GENERAL:**

THE STRUCTURAL DRAWINGS SHOW THE COMPLETED PROJECT. DETAILS, SECTIONS, AND NOTES SHOWN ON THE DRAWINGS SHALL BE TYPICAL AND APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.

CONTRACTOR SHALL COMPARE ALL DIMENSIONS AND CONDITIONS ON CONTRACT DOCUMENTS AND AT THE SITE. ANY OMISSION OR CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. IN CASE OF ANY CONFLICT FOLLOW THE MOST STRINGENT REQUIREMENT AS DIRECTED BY ARCHITECT/ENGINEER.

SEE THE ARCHITECTURAL DRAWINGS FOR DOORS, WINDOWS, NON--BEARING INTERIOR AND EXTERIOR WALLS, RECESSES, DEPRESSIONS, ETC.

CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING FOR ALL PORTIONS OF THE BUILDING UNTIL THE ENTIRE STRUCTURE OF THE BUILDING IS COMPLETE.

OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER'S FIELD REPRESENTATIVES SHALL NOT BE CONSTRUED AS INSPECTION OR APPROVAL OF CONSTRUCTION.

ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN UTAH.

#### **DESIGN CRITERIA:**

BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE (IBC) W/ AMENDMENTS

LOADINGS:

ROOF SNOW LOAD =30 PSF + SNOW DRIFT PER IBC WIND LOAD - 90 MPH ZONE - EXPOSURE C SEISMIC DESIGN CATEGORY: D

#### STRUCTURAL AND MISCELLANEOUS STEEL:

#### MATERIAL PROPERTIES:

ALL SHAPES, PLATES, ANGLES, AND CHANNELS TO BE ASTM A-36 UNLESS

NOTED OTHERWISE. ALL WF SHAPES WEIGHING 84 POUNDS PER LINEAR FOOT OR LESS TO BE ASTM A 572, GRADE 50. ALL WF SHAPES WEIGHING MORE

THAN 84 POUNDS PER LINEAR FOOT TO BE ASTM A 572, GRADE 36. SQUARE OR RECTANGULAR TUBES TO BE ASTM A 500, GRADE B, Fy = 46 KSI. ALL STEEL TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS, LATEST ADOPTION.

#### WELDING:

FOR STRUCTURAL STEEL TO BE IN ACCORDANCE WITH A.W.S.

REQUIREMENTS FOR E70XX ELECTRODES. BOLTS:

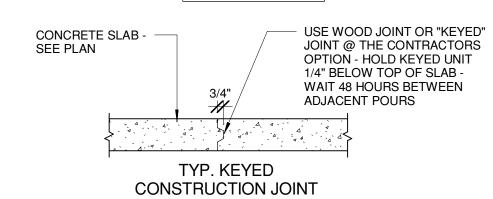
> ALL BOLTS TO BE 3/4" DIAMETER ASTM A 325-N UNLESS NOTED OTHERWISE. BOLTS, NUTS AND WASHERS SHALL NOT BE REUSED. ANCHOR BOLTS SHALL BE ASTM A 307 OR A 36.

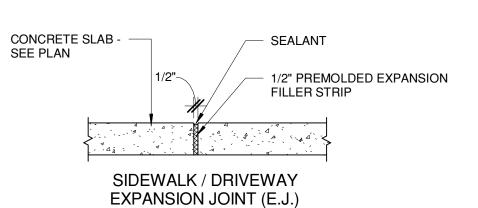
#### SPECIAL INSPECTION:

SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH IBC SECTION 1701.

FIELD WELDING IF APPLY.

# NOTE: STOP REINF. @ JOINT TYP. IF APPLY





CORE DRILL ALL CORNERS
DO NOT OVERCUT

EXTEND CHANNEL 16"

EXTG. CMU WALL

OPENING IN CMU WALL
SCALE: NONE

GROUT THE FIRST CELL TYP.

IF NOT ALREADY GROUNTED

1/4 / 4" @ 12"

EXTG. UNGROUTED CELL -BREAK FACE SHELL ABOVE

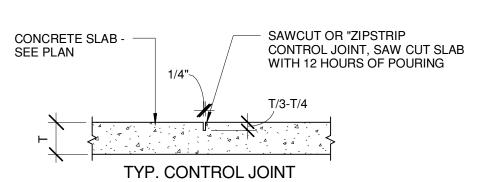
- KNOCK OUT EXTG. WALL FOR

- P\_6" x 3/8" x OPENING LENGTH - 4"

STL. C8x11.5 OR MC8x8.5 SEE
PLAN W/(2) 3/4" Ø EPOXY BOLTS @
EA. END W/ 3/4" Ø EPOXY BOLTS

@ 24" O.C. (5" EMBEDMENT)

AND GROUT SOLID



TYP. CONCRETE FLOOR JOINTS

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OFESSIONAL STAMP:

STRUCTURAL ENGINEER: BHB CONSULTING

**ELECTRICAL ENGINEER:** THOMAS & KOLKMAN

NEW

ORE ACE

E LIQUOR ST DOOR REPL

PRICE & [

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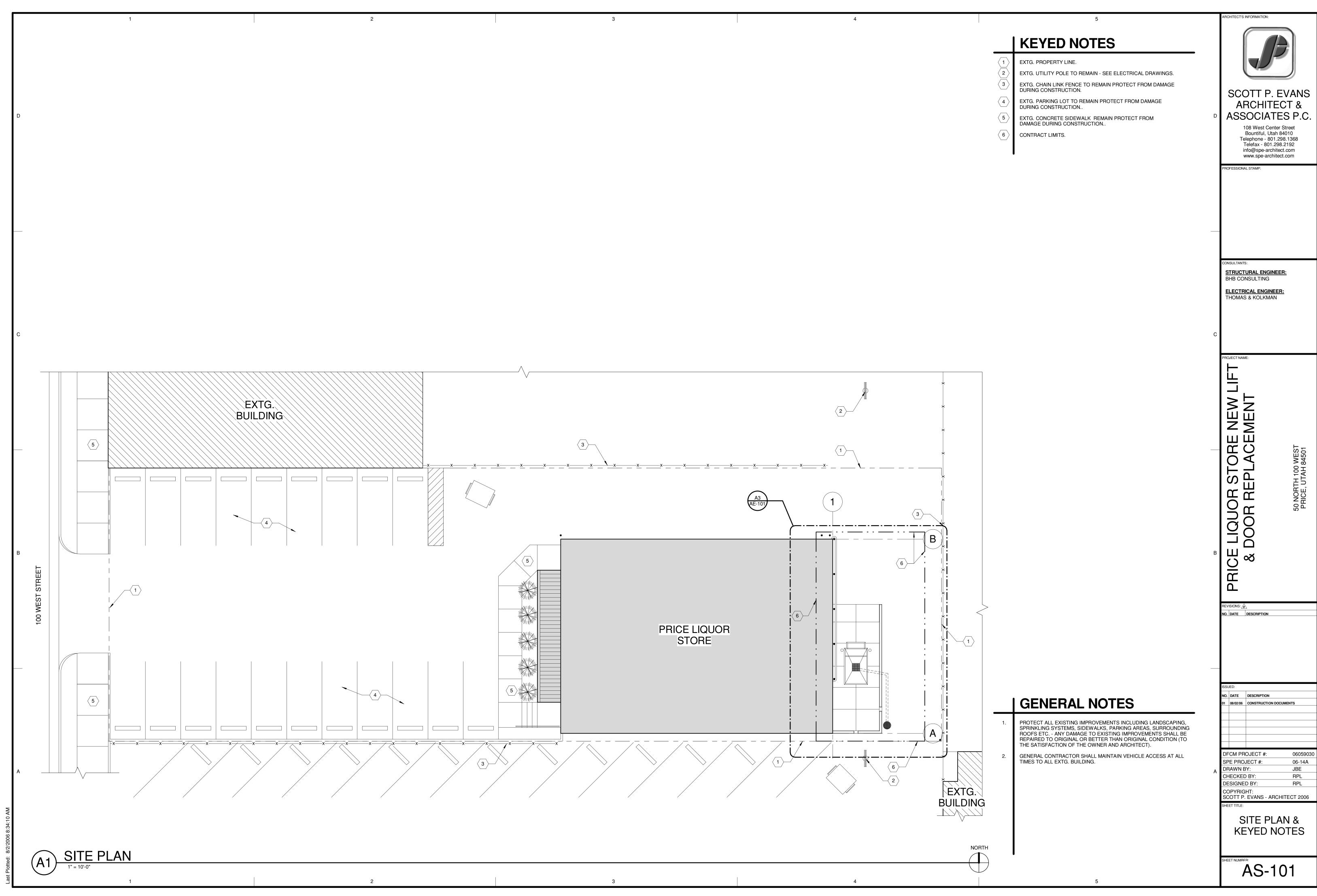
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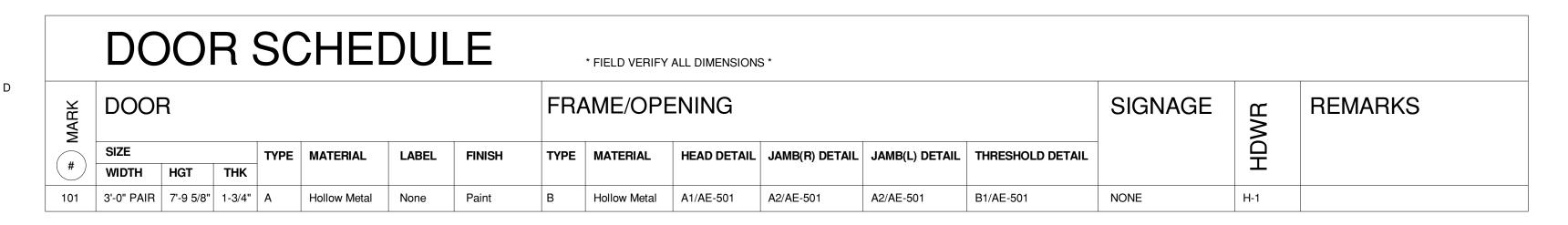
DFCM PROJECT #: SPE PROJECT# 06-14A DRAWN BY: JBE CHECKED BY: RPL/CLI RPL/CLI

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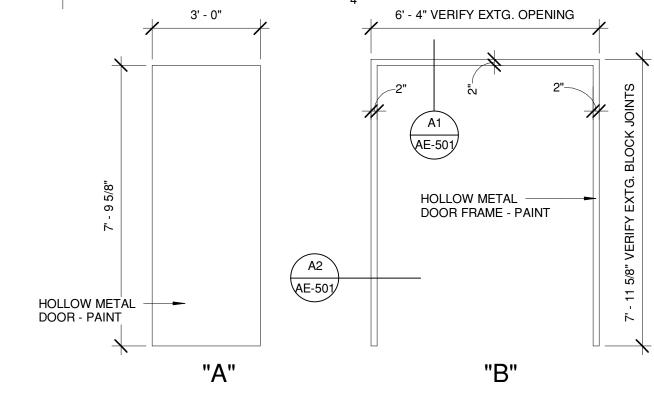
STRUCTURAL NOTES, PLAN & **DETAILS** 

SE-101





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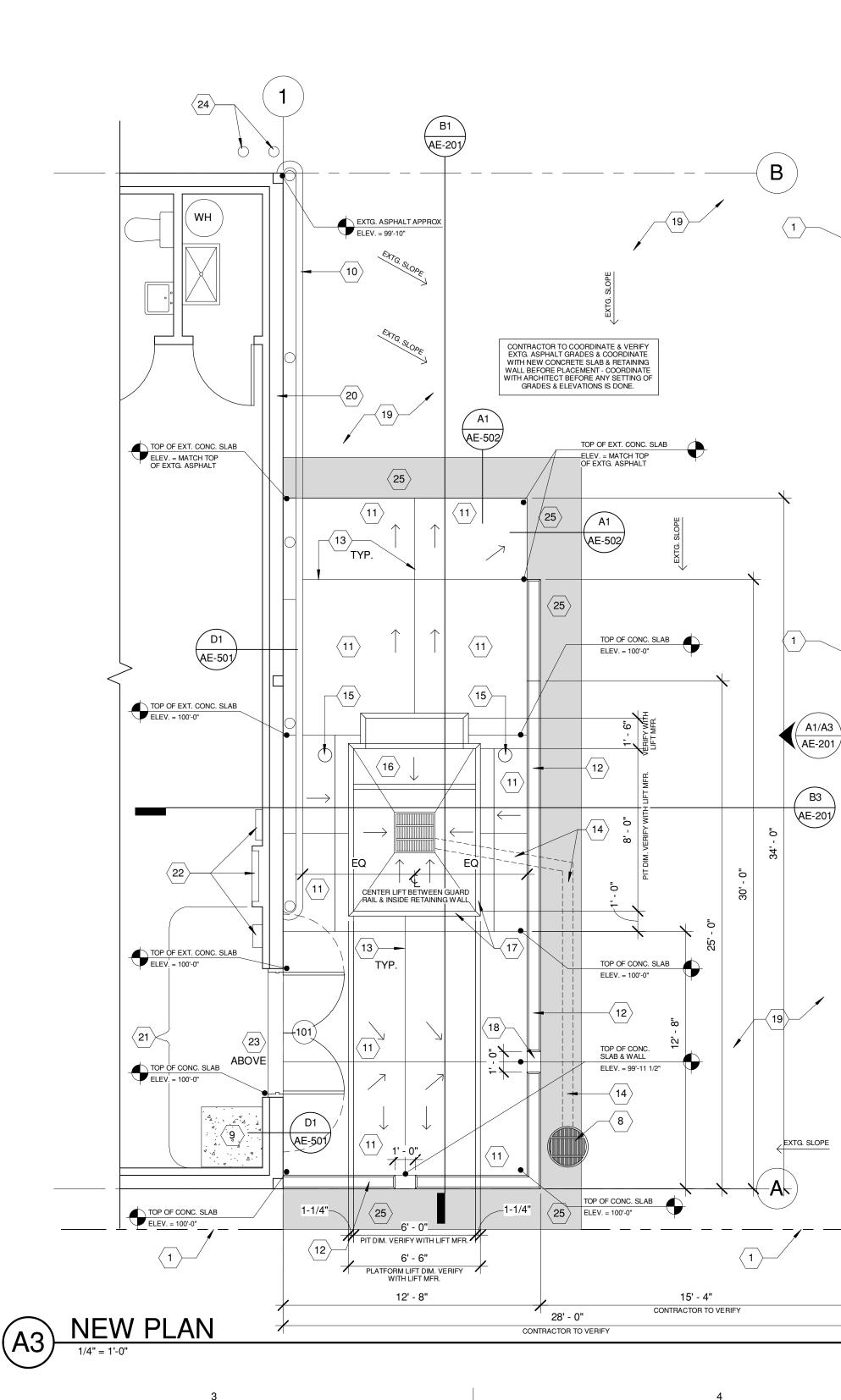


/ A1/A3

EXTG. SLOPE

NORTH

# DOOR & FRAME TYPES



### **KEYED NOTES**

GENERAL CONTRACTOR TO SAW CUT EXTG. ASPHALT TO

REMOVED & DISPOSED OF AS PER SPEC & ALL CODES.

EXTG. CONCRETE RETAINING WALL TO BE REMOVED.

HATCH PATTERN INDICATES EXTG. AREA OF ASPHALT TO BE

EXTG. DOOR, FRAME & THRESHOLD & ALL RELATED MATERIALS TO

EXTG. CONCRETE SLAB TO BE REMOVED AS REQUIRED FOR NEW

HYDRAULIC PUMP LINES - REPLACE CONCRETE SLAB & FLOORING

EXTG. STEEL GUARD RAIL TO REMAIN PROTECT FROM DAMAGE

6" CONCRETE SLAB WITH #4 BARS 12" O.C. EACH WAY OVER 6"

NEW CONCRETE CURB WALL - TOP OF WALL ELEVATION =100'-3" -

DASHED LINE INDICATED NEW 6" PVC DRAINAGE PIPE - TIE INTO EXTG. ROCK SUMP AS SHOWN AS REQUIRED - INSTALL PVC DRAINAGE PIPE & FITTING ACCORDING TO ASTM F891 RATED FOR

NEW 6"Ø CONCRETE FILLED PIPE BOLLARD - SEE DETAIL A5/AE-501.

STEEL ANGLE AT PERIMETER OF LIFT PIT & RECESSED BRIDGE - ALL CURB ANGLE JOINTS TO BE WELDED SECURELY - STEEL ANGLE TO

FINISH TO MATCH EXTG. - SEE ELECTRICAL DRAWINGS.

SLAB CONTRACTION JOINT - SEE DETAIL D2/AE-501.

DIMENSIONS SHOWN OR AS REQUIRED.

EXTG. CONCRETE PAD TO BE REMOVED.

REMOVED EXTG. DOOR STOP.

EXTG. ROCK SUMP TO REMAIN.

COMPACTED GRAVEL BASE.

SEE DETAIL B2/AE-501.

DOMESTIC WASTE & VENT.

BE REMOVED - REUSE SELECTED HARDWARE.

DURING CONSTRUCTION - PAINT SEE SPEC.

EXTG. PROPERTY LINE.

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**STRUCTURAL ENGINEER:** 

THOMAS & KOLKMAN

DROP TOP OF CONCRETE WALL TO MATCH TOP OF CONCRETE SLAB FOR WATER DRAINAGE.

PIT FOR NEW SCISSOR LIFT - SEE DETAIL INDICATED.

EXTG. ASPHALT TO REMAIN.

BE GALVANIZED PRIMED & PAINTED.

PROTECT THE BUILDING FROM DAMAGE DURING CONSTRUCTION. PAINT EXTG. WALL IN THIS AREA FROM FLOOR TO CEILING - PAINT COLOR TO MATCH SURROUNDING WALLS - SEE SPEC.

EXTG. ELECTRICAL PANELS TO REMAIN - SEE ELECTRICAL

RELOCATE EXTG. ELECTRICALLY ILLUMINATED EXIT SIGNAGE ABOVE DOOR AS REQUIRED FOR NEW DOOR INSTALLATION - SEE ELECTRICAL DRAWINGS.

EXTG. BOLLARDS TO REMAIN. NEW ASPHALT AS REQUIRED.

BHB CONSULTING **ELECTRICAL ENGINEER:** 

NEW MENT ORE ACE PRICE LIQUOR ST & DOOR REPI

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PLANS & KEYED NOTES

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AE-101

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MEINELL	<b>7</b>		

PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT).

GENERAL CONTRACTOR SHALL MAINTAIN VEHICLE ACCESS AT ALL TIMES TO ALL EXTG. BUILDINGS.

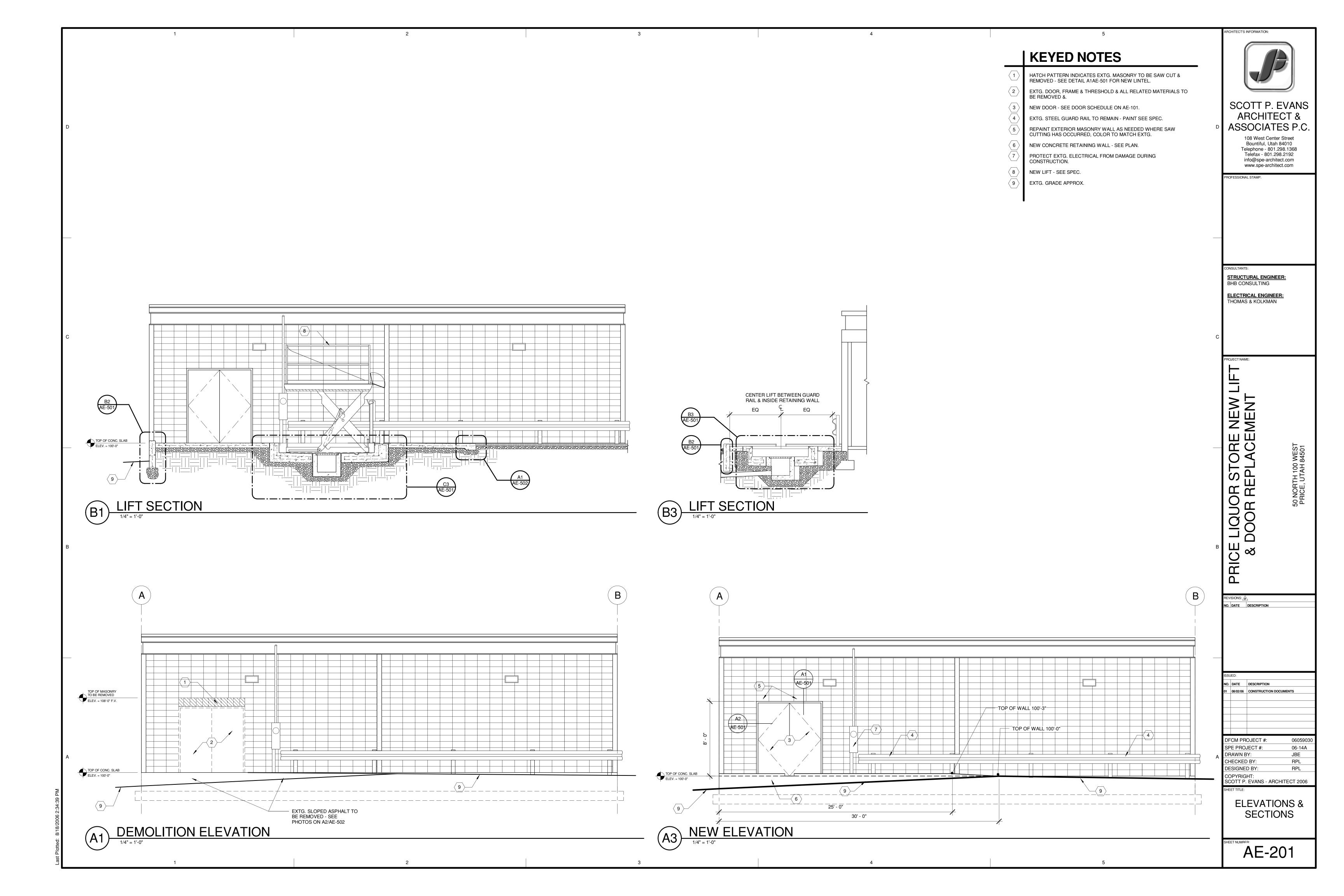
GENERAL CONTRACTOR SHALL VERIFY DOOR & FRAME DIMENSIONS THAT EXIST IN FIELD PRIOR TO ORDERING DOOR & FRAME.

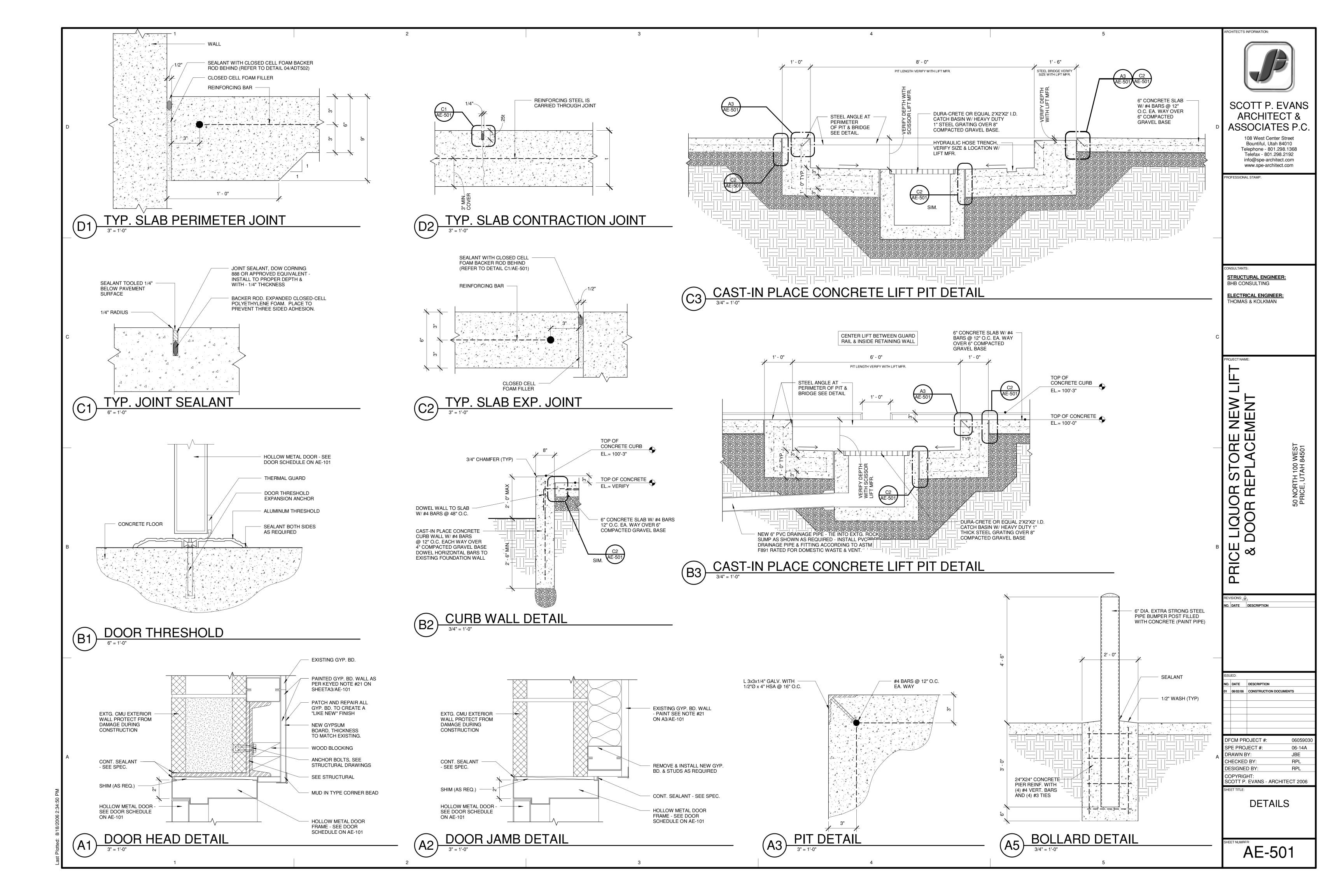
CONTRACTOR TO COORDINATE & VERIFY EXTG. ASPHALT GRADES & COORDINATE WITH NEW CONCRETE SLAB & RETAINING WALL BEFORE PLACEMENT - COORDINATE WITH ARCHITECT BEFORE ANY SETTING OF GRADES & ELEVATIONS IS DONE.

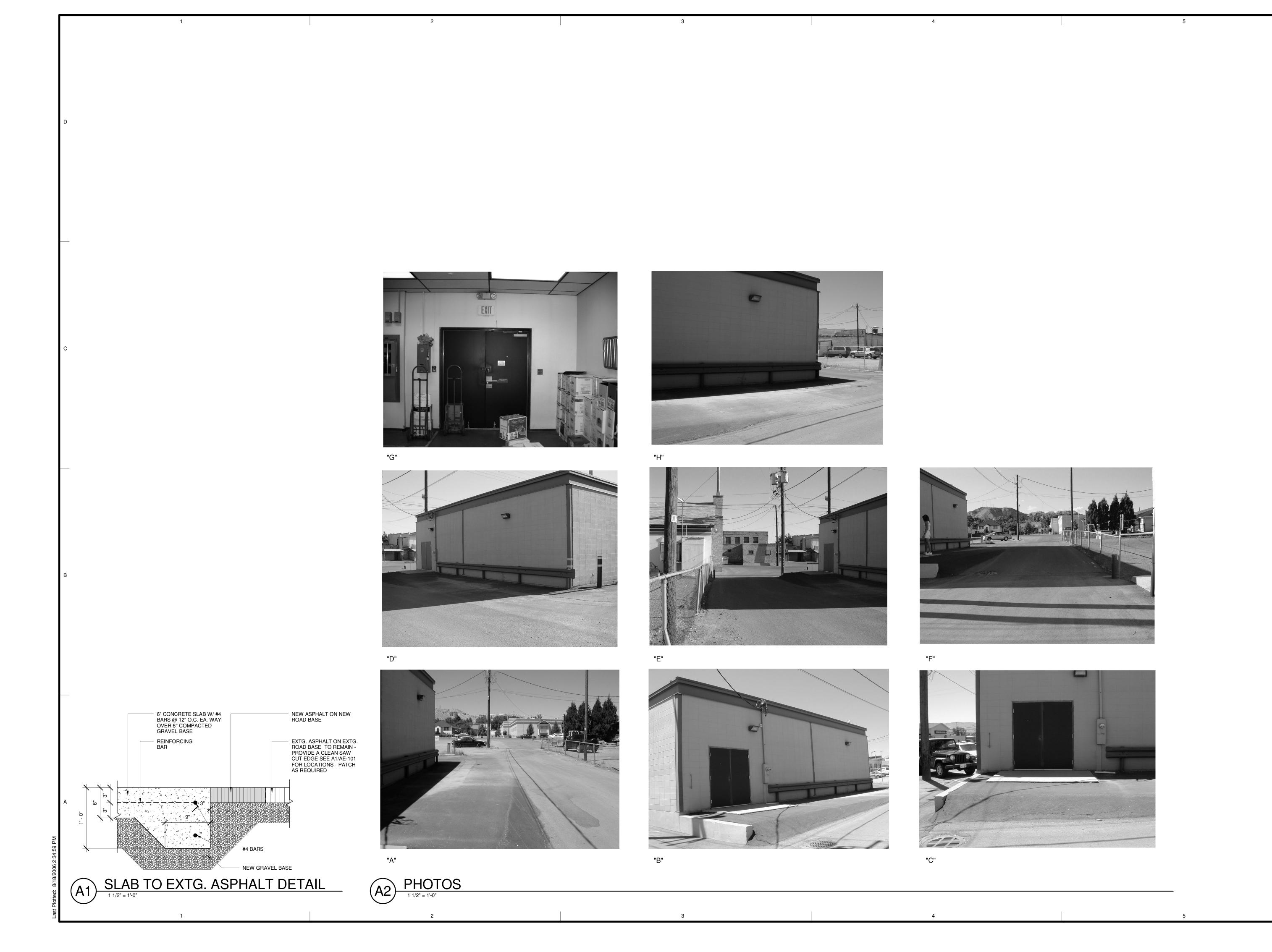
4:34 PM >		3'-0"	5	A
2:34:34		1		1
lotted: 8/18/2006 2:34:34	A1) DEN 1/4" = 1'-	MOLITION PL	.AN	(

DOOR SCHEDULE

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ELECTRICAL ENGINEER: THOMAS & KOLKMAN

TORE NEW LIFT PRICE LIQUOR ST & DOOR REPI

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> **DETAILS &** PHOTOS

AE-502

В ,× (12) EXISTING SECURITY/ FIRE ALARM CONTROL PANEL -EXIST. PANEL 'B' 24Ø V, 3¢----EXIST. PANEL 'A' 120/240 V, 1¢ ----(15) - [F] B-1, 3P-404, 3 #8, 1 \*8 GND, 3/4" C -

GENERAL NOTES:

1. LOCATIONS OF EXISTING ELECTRICAL EQUIPMENT, OUTLETS, BRANCH CIRCUIT WIRING, ETC., ARE BASED ON EXISTING BUILDING ELECTRICAL DRAWINGS AND FIELD OBSERVATION OF EXISTING SURFACE CONDITIONS. FIELD YERIFY EXISTING LOCATIONS AND CIRCUITING AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY ADVERSELY AFFECT COMPLETION OF THE WORK.

- 2. ELECTRICAL DEMOLITION IS INDICATED FOR CONTRACTOR'S REFERENCE ONLY. FIELD VERIFY QUANTITIES AND LOCATIONS OF ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED. REMOVE ALL ABANDONED CONDUIT WIRING, BOXES, OUTLETS, EQUIPMENT, ETC. WHETHER SPECIFICALLY SHOWN OR NOT.
- 3. CONTRACTOR MAY USE EXISTING BRANCH CIRCUIT WIRING AND RACEWAYS WHERE CONVENIENT TO CONNECT TO NEW ELECTRICAL DEVICES ONLY IF THE EXISTING WIRING AND RACEWAYS ARE IN GOOD CONDITION AND MEET DIVISION 16 SPECIFICATION REQUIREMENTS FOR NEW WIRING AND RACEWAYS.
- 4. ALL MATERIALS AND EQUIPMENT REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO THE OWNER FOR STORAGE OR BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE OWNER.
- 5. TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO THE EXISTING BUILDING. REPAIR ALL DAMAGE INCURRED BY DEMOLITION AND NEW CONSTRUCTION TO EXACTLY MATCH SURROUNDING SURFACES AND/OR CONDITIONS WITHOUT ADDITIONAL COST TO THE OWNER. COORDINATE REPAIRS WITH THE GENERAL CONTRACTOR.
- 6. FIELD COORDINATE NEW SCISSOR LIFT ELECTRICAL REQUIREMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK. MAKE ALL ELECTRICAL CONNECTIONS, INCLUDING CONTROLS, IN ACCORDANCE WITH THE SCISSOR LIFT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

STRUCTURAL ENGINEER: BHB CONSULTING ENGINEERS

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ASSOCIATES P.C

ELECTRICAL ENGINEER: THOMAS & KOLKMAN ENGINEERING

#### KEYED NOTES:

- $\langle$  |  $\rangle$  REMOVE EXISTING COMBINATION STARTER WITH FUSIBLE DISCONNECT, INCLUDING 3 \*8, I \*8 GND, TO EXISTING PANEL 'B', AND EXPOSED CONDUIT TO ABOVE CEILING. INTERCEPT EXISTING CONDUIT ABOYE CEILING AND EXTEND TO NEW SAFETY SWITCH FOR NEW SCISSOR LIFT. REPAIR EXISTING WALL AS REQUIRED TO RECEIVE NEW PAINT FINISH.
- $\langle 2 \rangle$  PROVIDE NEW FUSED SAFETY SWITCH WITH FUSES PROPERLY SIZED FOR NEW SCISSOR LIFT WITH NEW BRANCH CIRCUIT TO EXISTING 3P-40A BREAKER IN EXISTING PANEL 'B' AS SHOWN. PAINT EXPOSED CONDUIT FROM CEILING TO SAFETY SWITCH TO MATCH WALL.
- (3) NEW SCISSOR LIFT HYDRAULIC PUMP UNIT, MAXIMUM 5 HP, 240 V, 30. FIELD COORDINATE LOCATION, AND ELECTRICAL REQUIREMENTS WITH GENERAL CONTRACTOR AND SCISSOR LIFT SUPPLIER.
- $\langle 4 \rangle$  NEW SCISSOR LIFT STARTER FURNISHED WITH LIFT, TO BE INSTALLED 4 WIRED COMPLETE BY CONTRACTOR INCLUDING CONTROLS. STARTER TO FURNISHED WITH CORD CONNECTED "UP-DOWN" PUSHBUTTON STATION TO BE INSTALLED AND WIRED COMPLETE BY CONTRACTOR.
- (5) PROVIDE NEW I" CONDUIT UNDERGROUND FROM SCISSOR LIFT PIT TO SCISSOR LIFT STARTER. CONNECT TO HIGH & LOW LIMIT SWITCHES ON SCISSOR LIFT WITH LIQUID-TIGHT FLEXIBLE STEEL CONDUIT IN ACCORDANCE WITH SCISSOR LIFT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- (6) PROVIDE NEW 3" SCHEDULE 40 PVC OR POLYETHELENE PIPE WITH LONG RADIUS SWEEP ELBOWS UNDERGROUND FROM LIFT PIT TO HYDRAULIC PUMP UNIT FOR HYDRAULIC LINES. FIELD COORDINATE LOCATION AND REQUIREMENTS WITH GENERAL CONTRACTOR AND SCISSOR LIFT SUPPLIER.
- $\langle 1 \rangle$  core-drill existing foundation wall for New underground conduit and
- $\langle 8 \rangle$  Existing concrete floor slab to be removed and replaced by GENERAL CONTRACTOR. SEE ARCHITURAL PLANS, SHEET AE-101.

PIPE PENETRATIONS AND SEAL WITH NON-SHRINK EPOXY GROUT.

- 9 TERMINATE NEW 3" PIPE FOR HYDRAULIC LINES WITH INSULATED BUSHING OR OTHER ACCEPTABLE MEANS TO PREVENT ABRASION OF HYDRAULIC LINES FROM CUT PIPE ENDS.
- (ID) TERMINATE 3" PIPE FOR HYDRAULIC LINES 12" + ABOVE FINISHED FLOOR. FIELD COORDINATE LOCATION WITH GENERAL CONTRACTOR AND SCISSOR LIFT
- (11) EXISTING METERMAIN BREAKER AND OVERHEAD ELECTRICAL SERVICE TO
- $\langle 12 
  angle$  existing underground telephone service to remain. Field verify exact
- (13) EXISTING WALL MOUNTED EXIT LIGHT AND EMERGENCY LIGHTING BATTERY UNIT TO REMAIN OPERATIONAL DURING STORE OPERATING HOURS. REMOVE AS REQUIRED TO ALLOW ENLARGEMENT OF EXISTING DOOR OPENING AND PROVIDE TEMPORARY CONNECTIONS AND SUPPORTS TO KEEP IN OPERATION. REINSTALL AND RECONNECT TO EXISTING CIRCUITS UPON COMPLETION OF NEW CONSTRUCTION.
- (14) EXISTING LIGHT SWITCHES TO REMAIN. PROTECT FROM DAMAGE DURING
- (15) EXISTING FIRE ALARM PULL STATION TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- (16) REMOVE EXISTING SECURITY SYSTEM DOOR CONTACTS FROM EXISTING DOOR TO BE REMOVED. REINSTALL ON NEW DOOR AND RECONNECT EXISTING CIRCUIT. FIELD COORDINATE REQUIREMENTS WITH OWNER AND OWNER'S SECURITY SYSTEM VENDOR.
- (11) CONDUCT A COMPLETE OPERATIONAL TEST OF THE EXISTING SECURITY/FIRE ALARM SYSTEM UPON COMPLETION OF WORK AND SUBMIT WRITTEN TEST REPORT TO ARCHITECT WITHIN 2 WORKING DAYS. FINAL CONNECTIONS AND TESTING SHALL BE PERFORMED BY THE OWNER'S SECURITY SYSTEM VENDOR, CONTACT MOUNTAIN ALARM CORPORATION (801) 395-8700.

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NO. DATE DESCRIPTION

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SPE PROJECT #:	06-14A	
DRAWN BY:	WBG	
CHECKED BY:	RGK	
DESIGNED BY:	WBG	
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ELECTRICAL PLAN AND NOTES

E-101

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"